

Design Standards



TABLE OF CONTENTS
ARTICLE

Page

I	INTRODUCTION	4
II	LAND USES AND OPERATIONS	
	A. Permitted Uses	5
	B. Prohibited Uses and Operations	8
	C. Other Operations and Uses	8
III	BUILDING SITE STANDARDS	
	A. Building Exteriors	10
	B. Visual Screening	10
	C. Storage, Loading	10
	D. Underground Utilities	10
	E. Lighting	11
	F. Mechanical Equipment	13
	G. Yard Requirements	14
	H. Building Site	15
	FIGURES	
	1. Typical Light Poles	12
IV	LANDSCAPE STANDARDS	
	A. Purpose and Intent	16
	B. Functions	16
	C. General Landscape Standards	16
	D. Specific Landscape Standards	20
	Tree Palette	24
	Annual Palette	25
	FIGURES	
	2. Typical Landscape Treatment (Major Road)	26
	3. Typical Landscape Treatment (Secondary Road)	27
	4. Typical Landscape Treatment (Local Road)	28

TABLE OF CONTENTS
ARTICLE (continued)

	Page
V SIGN STANDARDS	
A. General	29
B. Permanent Identification Sign Types and Standards	29
C. Temporary Sign Types and Standards	31
D. Maintenance	31
E. Prohibited Signs	31
FIGURES	
5. Standard Monument (Ground) Sign	33
6. Monument (Ground) Sign 436 only	34
7. Temporary Real Estate Sign Dimensions	35
8. Temporary Real Estate Sign Graphic Design	36
VI DESIGN REVIEW BOARD	
A. Establishment	37
B. Board Composition	37
C. General Function, Powers and Duties	37
D. Plan Review	38
E. Basis of Approval	38
F. Variances	39
G. Appeal	39
H. Design Review Procedures	39
I. Prior Notice of Construction	42
J. Identical Replacements	42
K. Final "As Built" Plans	42
L. Limitation of Liability	43

ARTICLE I INTRODUCTION

The Master Plan for LeeVista Center features a well-balanced combination of commercial, office, residential and industrial facilities. To promote and preserve this harmonious unity, these Design Standards are intended to guide the planning, design, construction and maintenance of LeeVista Center.

A portion of the park has been identified as an auto mall area, which is intended to blend a wide range of automobile interests to further promote harmonious unity within LeeVista Center.

The following Design Standards focus on typical design elements, including the most common elements of design, construction, signage, lighting, parking, utilities, and site planning. These standards establish the minimum design and construction criteria for LeeVista Center.

Some of these standards are highlights of specific restrictions and regulations found in documents previously adopted by the City of Orlando. All definitions from the City of Orlando Land Development Code shall apply to these Design Standards unless otherwise specified herein. Some of the City's documents are revised periodically and care should be taken in verifying that the documents being used are current.

The Landscape Design Standards reinforce all of the design elements and concurrently establish the boundaries of the park. The selected landscape materials are strong, unifying elements that visually provide LeeVista Center definition.

The landscape standards also integrate physical and architectural elements with streetscapes to screen visually unappealing areas such as parking lots, storage, and loading areas. These standards are the criteria that shall be used in the landscape design approval process.

These standards are equal to or exceed those enforced by the City of Orlando. Enforcement of standards, which exceed the City of Orlando's standards, is the responsibility of LeeVista, Inc. or its assigns. Questions regarding these standards should be directed to LeeVista, Inc., 6509 Hazeltine National Drive, #6, Orlando, FL 32822 - (407) 857-2835. E-Mail: shawn.barrow@live.com .

Adherence to these Design Standards will result in an efficient and environmentally attractive development and will help to enhance and protect the value of all the properties. These requirements apply to all properties developed within LeeVista Center.

ARTICLE II LAND USES AND OPERATIONS

A. PERMITTED USES

To the extent that a particular proposed use shall otherwise comply with these design guidelines, the following uses shall be permitted on the properties:

1. Research and development facilities (including manufacturing and assembly facilities related thereto), research institutes, testing laboratories, government installations, and similar facilities with related buildings and appurtenances, but only to the extent that such facilities are incidental to the foregoing uses.
2. Hotel, motel, restaurant and commercial facilities (including movie theatres) with related buildings and appurtenances, but only to the extent that such facilities are incidental to the foregoing uses.
3. Office, office/showroom, industrial, distribution, warehouse and service center facilities and similar facilities with related buildings and appurtenances, but only to the extent that such facilities are incidental to the foregoing uses.
4. Uses reasonably incidental to, or in support of, any facilities or improvements located or constructed on a lot, and uses reasonably incidental to, or in support of activities or operations conducted on a lot which are devoted to a use permitted pursuant to the provisions of Paragraphs 1, 2 and 3 of this Article A; provided, however, that any such incidental or support uses are previously approved in writing by the LeeVista Center Design Review Board.
5. Multifamily rental apartments or condominium style ownership of apartments and townhouses.

No uses, other than the foregoing, shall be permitted except with the express written consent and approval of the LeeVista Center Design Review Board.

The following land use table identifies those uses which are permitted within the categories incorporated in the LeeVista Center Master Plan which utilizes the codes below:

C	-	Commercial
I	-	Industrial
H	-	Hotels
O	-	Office
R	-	Apartments

All land uses are subject to the provisions of these Design Standards and the City of Orlando Land Development Code.

LAND USE CATEGORIES-PERMITTED USES

		C	I	H	O	R
1.	General Office Buildings		●		●	
2.	Hotels			●		
3.	Commercial Centers	●				
4.	Industrial Condominiums		●			
5.	Apartments & Townhomes					●
6.	Uses primarily engaged in research activities, including research or developmental laboratories, and compatible light manufacturing		●		●	
7.	Manufacture, research, assembly, testing and repair of parts, components, devices, equipment and systems		●			
8.	General manufacturing and/or assembly		●			
9.	Service industries which provide a service, as opposed to the manufacture of a specific product, such as, but not limited to the following:		●		●	
	a. The repair and maintenance of appliance or component parts					
	b. Tooling					
	c. Printers					
	d. Testing shops					
	e. Small machine shops					
	f. Repair, maintenance and servicing above listed items					
10.	Industries engaged in distribution, storage and warehousing		●			
11.	Construction industries		●			
12.	Blueprinting, photostating, photo enlarging printing, publishing and bookbinding		●		●	

		C	I	H	O	R
13.	Administrative, professional and business offices associated with, and accessory to, a permitted use established on a particular site	●	●	●	●	
14.	Cafeterias, cafés, restaurants	●	●	●	●	
15.	Accessory uses and structures when related and incidental to a permitted use	●	●	●	●	
16.	Agriculture as a continuation of the existing land use, and all necessary structures and appurtenances	●	●	●	●	●
17.	Farm equipment	●	●	●	●	●
18.	Automobile assembly		●			
19.	Outside storage, subject to adequate visual screening being provided. (See Article III B, page 10)		●			
20.	Vehicular Storage. Vehicles cannot remain on the premises for more than 24 hours unless they are screened from adjacent streets and buildings, or unless given written approval by the LeeVista Center Design Review Board. (See Article V E, page 32)		●			
21.	Auto and truck sales, rental and related support services	●	●			
22.	Gasoline service stations and their ancillary uses	●	●			

B. PROHIBITED USES AND OPERATIONS

No operation will be permitted on any part of any site, which is obnoxious to, or out of harmony with, the operation of the business conducted on any of the other sites in LeeVista Center.

Uses or operations that produce or are accompanied by the following characteristics are prohibited due to their obvious detrimental effect upon the general appearance of LeeVista Center and development located therein:

1. Any public or private nuisance.
2. Any vibration, noise, sound or disturbance that is objectionable due to intermittence, beat frequency, shrillness or loudness. When exterior sound systems are incorporated as part of any business, sound levels shall not exceed 65 DBA at the property line.
3. Any lighting which is not shielded and confined within site boundaries.
4. Any electro-mechanical or electro-magnetic disturbances or radiation.
5. Any emission of odorous, noxious, caustic or corrosive matter, whether toxic or nontoxic.
6. Any litter, dust, dirt or fly ash in excessive quantities.
7. Any unusual firing, explosion or other hazard, including the storage, display or sale of explosives or fireworks.
8. Any mobile home or trailer court, labor camp, junkyard, stockyard, motor vehicle body shops, distillation of bones, animal raising, or storage, slaughter or disposition of any kind.
9. Any removal and/or refining of oil, gas, hydro-carbon substances, water, geothermal steam or any other subsurface substances whatsoever, except water for irrigation of landscaped areas.
10. Any drilling, excavation and/or removal of earth materials except for water wells or as part of normal grading operations in connection with construction of approved improvements.
11. Any dumping, disposal, incineration or reduction of garbage or refuse of any nature whatsoever, other than handling or reducing any such waste matter if actually produced on the premises from authorized uses and if handled in a reasonably clean and sanitary manner.
12. Any smelting of iron, tin, zinc or other ores.

C. OTHER OPERATIONS AND USES

1. Operations and uses, which are neither specifically prohibited nor specifically authorized by these standards, may be permitted in a specific case if operational plans and specifications are submitted to and approved in writing by LeeVista, Inc., and meets the uses permitted under the Land Development Code of the City of Orlando. Approval of

such plans and specifications shall be based upon the effect such operations and uses would have on other properties subjected to these standards or upon the occupants thereof. Such effect will be determined by LeeVista, Inc., in its discretion. Should LeeVista, Inc. fail to approve such operational plans and specifications within thirty (30) days after the same have been submitted to them, it shall be conclusively deemed that the said plans and specifications have been disapproved. If disapproved, LeeVista, Inc. shall provide written objections, which form the basis for the disapproval, within fifteen (15) days after the thirty (30) day period has expired.

2. Neither LeeVista, Inc., nor its successors or assigns, shall be liable in damages to anyone submitting operational plans and specifications to them for approval, or to any Owner or land affected by this section, by reason of mistake in judgment, negligence or nonfeasance arising out of or in conjunction with the approval or disapproval or failure to approve any such operational plans and specifications. Every person who submits operational plans and specifications to LeeVista, Inc. for approval, agrees, by submission of such plans and specifications, and every Owner of any property in LeeVista Center agrees, by acquiring title thereto or interest therein, that he will not bring any action or suit against LeeVista, Inc. to recover any such damages. .
3. The Owner of land, affected by this section, shall be responsible for ascertaining the accuracy of lot lines, current City of Orlando regulations, and other regulations which may apply to the Owner's site.

ARTICLE III BUILDING SITE STANDARDS

This section provides a detailed interpretation of acceptable standards for a number of typical design elements and other information affecting design.

A. BUILDING EXTERIORS

1. All exterior elevations of buildings facing streets, including screen walls, are to have architectural treatment.
2. Colors, materials and finishes shall be coordinated in all exterior elevations of the buildings to achieve total continuity of design and shall be approved by the LeeVista Center Design Review Board.
3. Buildings located in the designated auto mall area shall not exceed forty (40) feet in height above the first floor elevation, nor shall overhead service bay doors be visible from LeeVista Boulevard, Shadowridge Drive or Shoal Creek Drive.
4. Draperies and window screening devices throughout the building shall be coordinated for uniform exterior visual impact.

B. VISUAL SCREENING

1. Storage areas, satellite dishes, loading docks and ramps, transformers, storage tanks, and other apparent uses or items of poor visual quality are to be screened by the use of decorative concrete or masonry walls, dense mature landscape material, or approved fencing.

C. STORAGE, LOADING, AND REFUSE FACILITIES

1. All loading, storage and refuse facilities shall be located in an enclosed building, or shall otherwise be screened from the view of streets and adjacent properties by means of visual screening, as described above. These elements shall be integrated with the building plan and shall be located in as inconspicuous a manner as reasonably possible. Dumpster facilities must be designed to accommodate paper, plastic and aluminum recycling in addition to trash.
2. Such facilities shall not be permitted in any required front setback area.
3. Turnarounds and maneuvering spaces must not project into any landscape area or required yard area, or into any public street right-of-way.
4. Loading docks and overhead service doors shall be designed to be compatible with and complement the architecture of the building.

D. UNDERGROUND UTILITIES

1. All utility lines and facilities shall be underground or concealed within a building or other improvement as approved by the LeeVista Center Design Review Board.
2. Temporary overhead electric power and telephone service may be

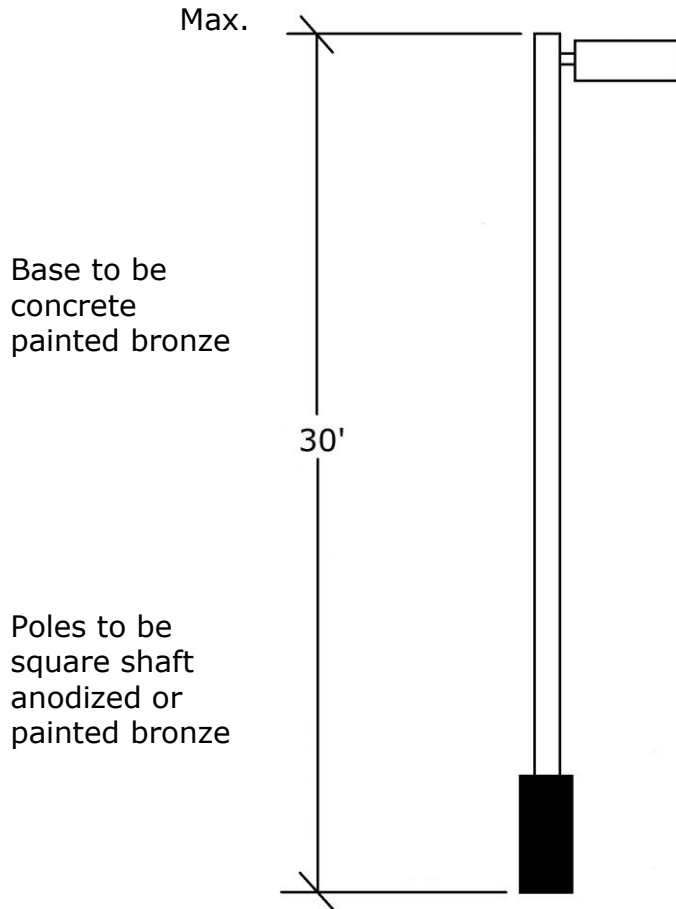
permitted during the construction phase but shall be removed immediately upon issuance of a Certificate of Occupancy.

3. Aboveground electric transformers, pool pumps, AC condensers, back-flow meters and similar apparatus will be permitted, but must be properly screened and have written approval by the LeeVista Center Design Review Board. Any additions due to field changes or inaccurate plans will require additional screening measures. LeeVista reserves the right to withhold final acceptance of the screening until a final walk-through at the time of completion of the project.

E. LIGHTING

1. Freestanding parking lot lighting fixtures shall not exceed an overall height of thirty (30) feet, including the base. Bases should either be anodized aluminum or painted to match the square tube poles. Walkway lighting fixtures shall not exceed an overall height of twelve (12) feet. See graphic pg. 12. Security lighting fixtures shall not project above either the fascia or the roofline of any building. All exterior lighting shall be shielded and confined within site boundaries. Shields for security lighting shall be a color to match or blend with the surface to which the fixture is attached. Security lighting fixtures shall not be substituted for parking lot or walkway lighting fixtures, and are restricted to lighting only service, storage, loading and other similar areas.
2. No exterior lighting may incorporate high-pressure sodium (HPS) lamps.
3. Parking lot lighting shall utilize Kim products or other approved shoebox fixtures with a dark bronze anodized finish. All fixtures and other components shall require specific approval by the LeeVista Center Design Review Board. Substitutions equivalent to Kim products may be submitted to the LeeVista Center Design Review Board for consideration.

Kim shoebox
fixture or
approved equal
bronze color

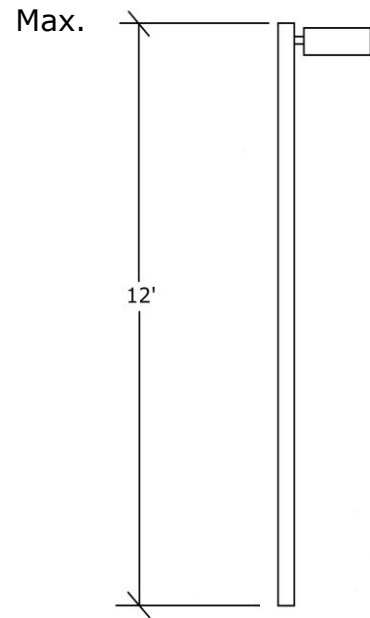


Base to be
concrete
painted bronze

Poles to be
square shaft
anodized or
painted bronze

PARKING LOT

Walkway light fixture may be any
architectural style, light poles to
be round shaft anodized or
painted bronze



WALKWAY

FIGURE #1

Light Pole Standards

F. MECHANICAL EQUIPMENT, DUCT WORK, ETC.

1. All roof-mounted mechanical equipment and/or duct work shall be screened from view by an enclosure which is detailed consistent with the architecture of the building. In determining screen height and location, consideration shall be given to the line of sight from adjacent buildings.
2. Cyclone blowers shall be screened by walls, fences, or landscape materials and shall be located below the fascia and/or roofline of the building. Further, they shall be located on the rear or nonstreet side of the building and, if visible, shall have a color to match or blend with the surface to which they are attached.
3. All roof-mounted ventilators shall be screened from view by an enclosure that is compatible with the architecture of the building. Consideration shall be given to the line of sight from adjacent buildings.
4. Gutters and downspouts shall be a color to match or blend with the surface to which they are attached unless used as a major design element, in which case the color shall be consistent with the color scheme of the building.
5. Vents, louvers, exposed flashing, tanks, stacks, overhead doors, rolling and man service doors shall be a color consistent with the color scheme of the building.
6. All air conditioning equipment, pool pumps, fire booster pumps, and backflow preventers, located above grade, shall be screened from the view from streets and adjacent properties.

G. YARD REQUIREMENTS

1. All buildings and paved areas shall be located the minimum distances from the **Centerline of the Roadway** as set forth below with the exception of: ****S.R. 436 Semoran and the **Beachline Expressway**. Where the right-of-way width is increased at intersections or other locations for turn lanes and similar improvements, the yard requirement shall be increased by that additional right-of-way width.

	MAJOR ROAD (96' ROW)	SEC. ROAD (72' ROW)	LOCAL ROAD (64' ROW)	S.R. 436 SEMORAN **	BEACHLINE EXPRESSWAY **
FRONT YARD					
BLDG.*	130	95	80	100	100
PAVING	95	82	70	50	50
STREET SIDE YARD					
BLDG.*	130	95	80	100	100
PAVING	95	82	70	50	50
SIDE YARD					
BLDG.*	25	25	25	100	100
PAVING	10	10	10	50	50
REAR YARD					
BLDG.*	25	25	25	100	100
PAVING	10	10	10	50	50

Major Roads - LeeVista Boulevard, Goldenrod Road, Hazeltine National Drive, Conway Road.

Secondary Roads - T.G. Lee Boulevard, Augusta National Drive.

Local Roads - Eagle Watch Drive, Mill Cove Lane, T.P.C. Drive, all other roads. Access roads of 40' ROW shall have the same setbacks as the Local Roads.

Request clarification from LeeVista Center Design Review Board as to setbacks for Hazeltine National Drive, T.P.C. Drive and Goldenrod Road.

*Yard requirements, for buildings which receive approval from the appropriate regulatory agencies for heights exceeding 50 feet, shall be increased by five feet for each additional ten feet or fraction of height thereof.

**** The distances in these columns are measured from the right-of-way.**

2. The narrow dimension of a lot adjoining a road right-of-way shall determine its front for the purpose of establishing yard requirements.
3. On through lots, the required front yard shall be provided along each road right-of-way. A through lot is defined as a lot with footage on two parallel or approximately parallel roads.
4. Yard definitions and their classification shall be as set forth in the City of

Orlando Land Development Code.

H. BUILDING SITE

Where a site contains more than one recorded lot, parcel or tract, interior lot lines will be disregarded and yard requirements will be established from the site perimeter provided that all lots, parcels or tracts contained within a building site are bound together in conformance with City of Orlando requirements.

ARTICLE IV LANDSCAPE STANDARDS

A. PURPOSE AND INTENT

The purpose of this article is to establish minimum design standards for properties within the LeeVista development including streets, driveways, parking and other vehicular use areas, in addition to buildings, structures and pedestrian areas. Application of these standards should integrate the architectural and physical elements of individual building sites with each other and with the streetscapes. These standards are intended to reinforce design elements, enhance the visual appearance and quality of the development, while enhancing property values and the overall environmental quality of the development.

B. FUNCTIONS

The major landscaping functions are cataloged as:

1. Architectural: Privacy control and boulevard definitions.
2. Engineering: Erosion control, glare reduction, and noise control.
3. Climate Control: Heat reduction (shade), wind protection, and humidity control.
4. Aesthetic: Enhancing and complementing architecture through accent and background planting.
5. Beautification: Addition of color at strategic locations and screening objectionable views.

These functions may be derived from the careful selection and installation of a variety of plant materials. In addition, employing these landscape standards throughout LeeVista Center will create a strong sense of cohesiveness and project identity.

C. GENERAL LANDSCAPE STANDARDS

All areas requiring landscaping shall meet or exceed the following general landscape standards:

1. Areas Where Required
 - a. Along both sides of all major, secondary, and local roads.
 - b. Around and within all off-street parking and other vehicular use areas within each site.
 - c. Along the outside of screening walls and fences.
 - d. Along all outside building walls. If all sides are not plantable, the full requirement for four sides will be met on three sides.
 - e. Other areas as may be required by the LeeVista Center Design Review Board for the further enhancement of the particular site

or the protection of surrounding or nearby sites.

2. Plant Material

All plant materials (in addition to those specifically addressed in this section) shall be chosen with respect to soil type, sun or shade tolerance and specific design purpose. Plant material shall have a habit of growth that is normal for the species and shall be sound, healthy, vigorous and free from insect pests, plant diseases and injuries. Plant quality, measurements, branching and grading shall meet or exceed Standards of Florida No. 1, as presented in the most current edition of "Grades and Standards for Nursery Plants," Florida Department of Agriculture.

3. Existing, Native and Indigenous Vegetation

The preservation of existing trees and shrubbery is strongly encouraged and adjustment of these standards for such plant material utilization will be permitted if incorporated and compatible with the overall landscape plan for the site and surrounding properties. Use of native or indigenous plant material, suitable to soil and moisture conditions with LeeVista Center, is encouraged.

4. Irrigation

Irrigation installation shall adhere to the following criteria:

- a. A complete in-ground automatic, landscape irrigation system for all landscaped areas shall be provided.
- b. The irrigation system shall be designed to provide full ground coverage (100%) and to meet the peak moisture demand of all landscape material.
- c. The irrigation system shall be designed and operated to prevent or minimize run-off and discharge of irrigation water onto sidewalks, roadways, driveways, parking lots, adjacent properties, and any area not under control of the user.
- d. The irrigation system shall be maintained so as to be in optimum proper working order. Damage to the system shall be repaired or replaced within 5 working days from the date of damage.
- e. The irrigation system shall be designed to permit connection to a wastewater reuse system, should one become available. Individual owners shall be responsible for all costs associated with such connection.
- f. LeeVista soils have a high clay content and will retain water readily. Monitor the automatic systems seasonally to prevent damage to pavement or plant materials caused by overwatering.
- g. New owners will be responsible for irrigation from back of roadway curb. This must be coordinated with LeeVista, Inc.'s Landscape Manager at the LeeVista office - (407) 857-2835.

5. Utilities

All aboveground utility and irrigation devices shall be screened from public view with landscape materials, berms or otherwise planned so as to occur out of public view. All landscaping must be closely coordinated with the location of below ground utility and irrigation lines.

6. Design and Installation

LeeVista, Inc. may be responsible for the initial design, development, and installation of landscape material on all streets, common areas and other areas as may be held by the property owners association. The extent of this landscape development shall be determined solely by LeeVista, Inc. In the development of individual sites, consideration will be given to permitting supplemental landscaping, at an owner's expense, within rights-of-way or common areas adjacent to the site.

Individual owners shall be responsible for the design, development, and installation of landscape material on their own site. The design of new projects shall take adjacent landscaping into consideration in order to maintain design continuity. Contiguous parcels reserved for future expansion shall have the required landscape areas fronting on streets fully developed at the time the first phase of development occurs. This shall include the construction of berms and the planting of trees and shrubs. For contiguous large parcels (10 acres or greater) LeeVista, Inc. shall have the authority to modify this requirement.

All landscaping shall be installed according to accepted commercial planting procedures. Adequately sized planting beds with fertile soil (free of lime-rock, pebbles or other construction debris) shall be used.

All landscape areas shall be protected from vehicular encroachment by wheel stops or curbing. If curbing is used abutting landscaped areas, it may be perforated to permit drainage from the paved surface onto the landscaped areas.

All planted areas must be checked for proper drainage prior to planting. Clay pockets exist in the LeeVista soil which prevents drainage in some areas. Augering, french draining or underdraining may be required.

All grassed areas shall be sodded with any of the following variations of St. Augustine including:

Bitter Blue

Certified Floratine

Scotts 1081

Floritam (Use of this variety is specifically recommended)

Seville

No Bahia grasses will be permitted anywhere as final sod. Bahia may be used temporarily to stabilize berms or retention ponds, until the

irrigation systems are installed.

7. Topography Alteration

No changes shall be made to the topography within drainage and/or landscape easements by any person without obtaining written approval of LeeVista, Inc.

8. Intersection Visibility

No landscaping, tree, fence, wall or similar object shall be installed or maintained in the vicinity of any corner, street, intersection or access-way intersecting a public right-of-way that the Transportation Engineering Bureau of the City of Orlando determines is an obstruction to visibility or is determined to be a traffic hazard. The intersection of two streets requires a 30' site visibility triangle; the intersection of a driveway with a street requires a 10' sight visibility triangle, between 2' and 6' above grade.

9. Maintenance

The property owners association shall be responsible for maintenance of signs, walls and other structures located within easements and landscaping within certain common areas and medians. The LeeVista Owners Association shall maintain the parkway in front of a property up until the time of site development commencement.

Individual owners shall be responsible for maintenance of the landscaping and irrigation, of their own site to the back of the street curb in the public right-of-way, in conformance with the Orlando City Code.

Maintenance of all landscape elements shall be of high quality in accordance with established horticulture practices. Plants shall be maintained in a healthy and growing condition or replaced with equal size and type of material. All areas shall be maintained free of weeds, refuse and debris. Plants which are not in a healthy condition and grass and sod containing diseased areas, (10) square feet or more, shall be promptly replaced or treated to restore healthy growth and develop an even appearance. LeeVista shall provide written notice to the on-site manager regarding a landscape deficit. Failure to correct the condition within thirty (30) days will result in the property owners association having the work performed with the cost placed as a lien upon the property until satisfied. These costs will also bear interest until paid at the highest percentage rate allowed under Florida law.

D. SPECIFIC LANDSCAPE STANDARDS

1. Adjacent to Public Right-of-Way

- a. All planting between the right-of-way and roadway pavement shall be maintained at less than 2'. This is for pedestrian and vehicular safety.
- b. A continuous undulating 2'-3' berm shall be located between the required ROW trees and any vehicular use areas. Berm tops shall also undulate while maintaining a minimum height of two (2) feet. In addition, a minimum of 2' of shrubs should be located on top of the berms. Berms must be supplemented with plant material to obtain 4'-5' screening. Berm slopes shall vary in order to provide interest and variety, but must be designed not to exceed a 3:1 slope for easy mowing and other maintenance. Berm slopes shall be completely covered with grass, shrubs, trees, ground cover or annuals.
- c. Understory trees shall be selected from the recommended tree palette contained in this section. At least five (5) of these trees shall be used for each one hundred (100) feet of road frontage. They shall be arranged in informal groups and clusters at varying distances from curbs. However, none shall be located within four (4) feet of any roadway curb nor within ten (10) feet of any driveway intersection with a public road or within the 30' sight visibility triangle of an intersection of two roads.

2. Entrance and Cross-Access Point Hardscape

Driveways at main access points shall be developed with an entrance pavement treatment. A hardscape treatment is useful to provide design unity throughout the LeeVista Development and visually define internal circulation.

3. Adjacent to Contiguous Properties

Landscaping shall be provided between vehicular use areas and any contiguous properties.

- a. A hedge or other landscape screening material at least 30"-36" in height above grade when planted, to grow to a minimum of 4'-5 feet within one (1) year, shall be planted between the common property lines and vehicular use areas. This hedge shall be maintained at five (5) feet.
- b. Planting areas shall not be less than six (6) feet in width.
- c. A minimum of one (1) tree shall be planted for each fifty (50) lineal feet of contiguous property line. The trees must be chosen from the recommended canopy tree palette.

4. Interior Vehicular Use Area

Interior vehicular use areas shall be deemed to be all vehicular use areas except those parking spaces contiguous to a perimeter for which a landscape screen is required. Landscaping shall be provided for these areas so as to provide visual and climatic relief from broad expanses of pavement and to channelize and define logical areas for pedestrian and vehicular circulation.

The requirements for landscaping in interior vehicular use areas are as follows:

- a. At least five percent (5%) of the interior vehicular use areas shall be landscaped.
- b. Interior landscaped areas shall be dispersed so as to define aisles and limit unbroken rows of parking spaces to a maximum of one hundred (100) feet.
- c. Each separate landscaped area shall contain a minimum of one hundred (100) square feet with a minimum interior dimension of five (5') feet and shall include at least one (1) tree.
- d. There shall be a minimum of one (1) tree for each two hundred (200) square feet of required interior landscaped area or fraction thereof. Trees shall be separated sufficiently to allow mature development without undue crowding. 75% of the trees must be selected from the recommended canopy tree palette.
- e. If the specific application of the interior landscape requirements will seriously limit functions of the building site, LeeVista, Inc. shall have the authority to permit consolidation and relocation of these areas on the building site. This cannot override City of Orlando codes or ordinances.

5. Adjacent to Structures

Trees shall be planted adjacent to structures on the site at the equivalent of one (1) tree or three (3) palms for each thirty (30) lineal feet of front and side wall length. These trees may be chosen from the recommended tree palette, 25% of which must be trees other than palms. Sabal palms have not fared well on LeeVista sites in the past. Washingtonia robusta palms are recommended.

A minimum ten (10) foot wide planting area shall be required around all sides of all structures for the purpose of enhancing and complementing the architectural character of the building. This area is for softening of the architecture and transition to the landscape. No walkways are permitted in this 10' planting area. If all sides of the structure are not able to be planted, the requirements for the four sides shall be met on three sides; i.e., a 90' x 90' building requires 12 trees and 3600 sf. of planting area. The planting area may contain trees, shrubs, ground

cover, annuals and sod. Sod is limited to less than 20%.

6. Drainage Retention Areas

Every owner of a lot shall conform to the requirements of the Master Drainage Plan for LeeVista Center. A copy is available from LeeVista, Inc. or its engineers (DRMP), as approved and amended by the St. Johns River Water Management District. **Make sure that the engineering is based on the benchmark elevations datum provided by LeeVista, Inc. or its engineers, Dyer, Riddle, Mills & Precourt, Inc.; all other benchmark elevations have proven to be incorrect.** All drainage and water retention plans for any construction upon a lot must be submitted to and approved by the LeeVista Center Design Review Board prior to the commencement of any construction. Each lot owner shall be required to provide, at such owner's expense, on-site drainage retention areas sized to accommodate the greater of, (1) the first one-half inch (1/2") of runoff from such lot or, (b) the runoff generated by the first one (1") inch of rainfall. This retention requirement is based on the current City of Orlando standards and, therefore, subject to change. **Any lot cannot exceed a 75% impervious surface ratio.** All areas shall be sodded and designed to blend with the overall landscaping and land form of such lot. The storm water from each lot shall be collected and retained on such lot and released therefrom, only in a manner approved by the LeeVista Center Design Review Board. The LeeVista Center Design Review Board may require such storm water retention areas and overflow drainage facilities, as it deems necessary, to maximize the amount of storm water runoff which is percolated into the soil of a particular lot. Such determination shall be made by the LeeVista Center Design Review Board on the basis of topography, aquifer characteristics, subsoil characteristics, and ground coverage of each particular lot. In addition, each owner of a lot shall be required to obtain all necessary governmental approvals with respect to its particular lot. **All drainage retention areas constructed upon a lot shall be properly landscaped in accordance with the Design Standards and approved by the LeeVista Center Design Review Board. No sod other than St. Augustine, no slopes over 3:1, no flumes for conveyance are permitted.**

7. Tree Distribution

At least thirty (30%) percent of all trees shall be of the larger size as designated on the recommended tree palette. It is recommended that these larger trees be utilized in areas of high visibility, such as building entrances and along the property line parallel to streets.

8. Ground Cover

All areas, not otherwise landscaped, shall be covered with solid sod or other suitable ground cover material that will inhibit weed growth. Stone

areas must have filter fabric below, and mulch areas will be limited to a maximum width of 2 feet.

9. Annual Beds

Annual beds shall be incorporated into the entry and/or signage area. Annual beds will enhance and draw attention to each individual entrance. The beds adjacent to entrance signs shall be changed at the discretion of individual owners to reflect the season. Beds must be changed at least four (4) times per year or when the blooms have diminished by 50%. Annual beds are also encouraged in other areas. They should be designed to harmonize with the landscaping. Annuals shall be chosen from the recommended annual palette on page 25.

10. Recommended Tree Palette

Recommended Canopy Tree Palette		Small Size	Large Size
Common Name	Botanical Name	Hgth & Sprd	Hgth & Sprd
Bald Cypress	Taxodium distichum	12' x 5'	16'-18' x 8'
Live Oak	Quercus virginiana	12' x 5'	16'-18' x 8'
Loblolly Bay	Gordonia lasianthus	12' x 5'	16'-18' x 8'
Red Maple	Acer rubrum	12' x 5'	16'-18' x 8'
River Birch	Betula nigra	12' x 5'	16'-18' x 8'
Cherry Laurel	Prunus caroliniana	12' x 5'	16'-18' x 6'
Southern Magnolia	Magnolia grandiflora	12' x 5'	16'-18' x 8'
Sweetgum	Liquidambar styraciflua	12' x 5'	16'-18' x 8'
Sycamore	Platanus occidentalis	12' x 5'	16'-18' x 8'
Tulip Tree	Liriodendron tulipifera	12' x 5'	16'-18' x 8'
Water Oak	Quercus nigra	12' x 5'	16'-18' x 8'
Recommended Understory Tree Palette			
Common Name	Botanical Name	Hgth & Sprd	Hgth & Sprd
Chickasaw Plum	Prunus angustifolia	12' x 4'	14'-16' x 6'
Crape Myrtle	Lagerstroemia indica	12' x 4'	14'-16' x 6'
Dahoon Holly	Ilex cassine	12' x 4'	14'-16' x 6'
East Palatka	Ilex opaca	12' x 4'	14'-16' x 6'
Ligustrum Tree	Ligustrum lucidum	12' x 4'	14'-16' x 6'
Loquat	Eriobotrya japonica	12' x 4'	14'-16' x 6'
Wax Myrtle	Myrica cerifera	12' x 4'	14'-16' x 6'
Weeping Elm	Ulmus parvifolia	12' x 4'	14'-16' x 6'
Yaupon Holly	Ilex vomitoria	12' x 4'	14'-16' x 6'
Recommended Accent Tree Palette			
Common Name	Botanical Name	Hgth & Sprd	Hgth & Sprd
Canary Island Date	Phoenix canariensis	12' clear trunk	16' clear trunk
Edible Date Palm	Phoenix dactylifera	12' clear trunk	16' clear trunk
Slash Pine	Pinus elliottii	12' x 5'	16'-18' x 8'
Washington Palm	Washingtonia robusta	12' clear trunk	16' clear trunk
Weeping Willow	Salix babylonica	12' x 5'	16'-18' x 8'

Recommended Annual Palette

Spring (March – May)	Colors
Ageratum	Violet
Begonias	Red, White, Pink
Calendulas	Yellow, Orange
Dahlia	Red, White, Pink, Yellow
Dianthus	Red, White, Pink
Impatiens	Red, White, Pink, Orange, Violet
Pansies	Red, White, Blue, Purple, Yellow
Petunias	Red, White, Pink, Blue, Bi-Colors
Salvia	Red, White, Violet
Vinca (Periwinkle)	Pink, White
Ornamental Cabbage	Violet
Summer (June-Sept)	Colors
Ageratum	Violet
Coleus	Mixed
Impatiens	Red, White, Pink, Orange, Violet
Marigold	Yellow, Orange
Portulaca	Red, White, Pink, Yellow
Salvia	Red, White, Violet
Vinca (Periwinkle)	Pink, White
Zinnia	Red, Pink, Yellow, Orange
Fall (Oct-Nov)	Colors
Begonias	Red, White, Pink
Chrysanthemum	Pink, White, Yellow, Purple, Maroon
Impatiens	Red, White, Pink, Orange, Violet
Marigolds	Yellow, Orange
Salvia	Red, White, Violet
Zinnia	Red, White, Pink, Yellow, Orange
Winter (Dec-Feb)	Colors
Calendulas	Yellow, Orange
Chrysanthemum	Pink, White, Yellow, Violet, Maroon
Dianthus	Red, White, Pink
Flowering Cabbage	Red, White, Pink
Pansies	Red, White, Blue, Purple, Yellow
Petunias	Red, White, Pink, Blue, Bi-Colors
Snapdragons	Pink, White, Yellow

FIGURE #2

MAJOR ROAD TYPICAL LANDSCAPE

Roadway and median widths may vary
Scale approx. 1" = 40'

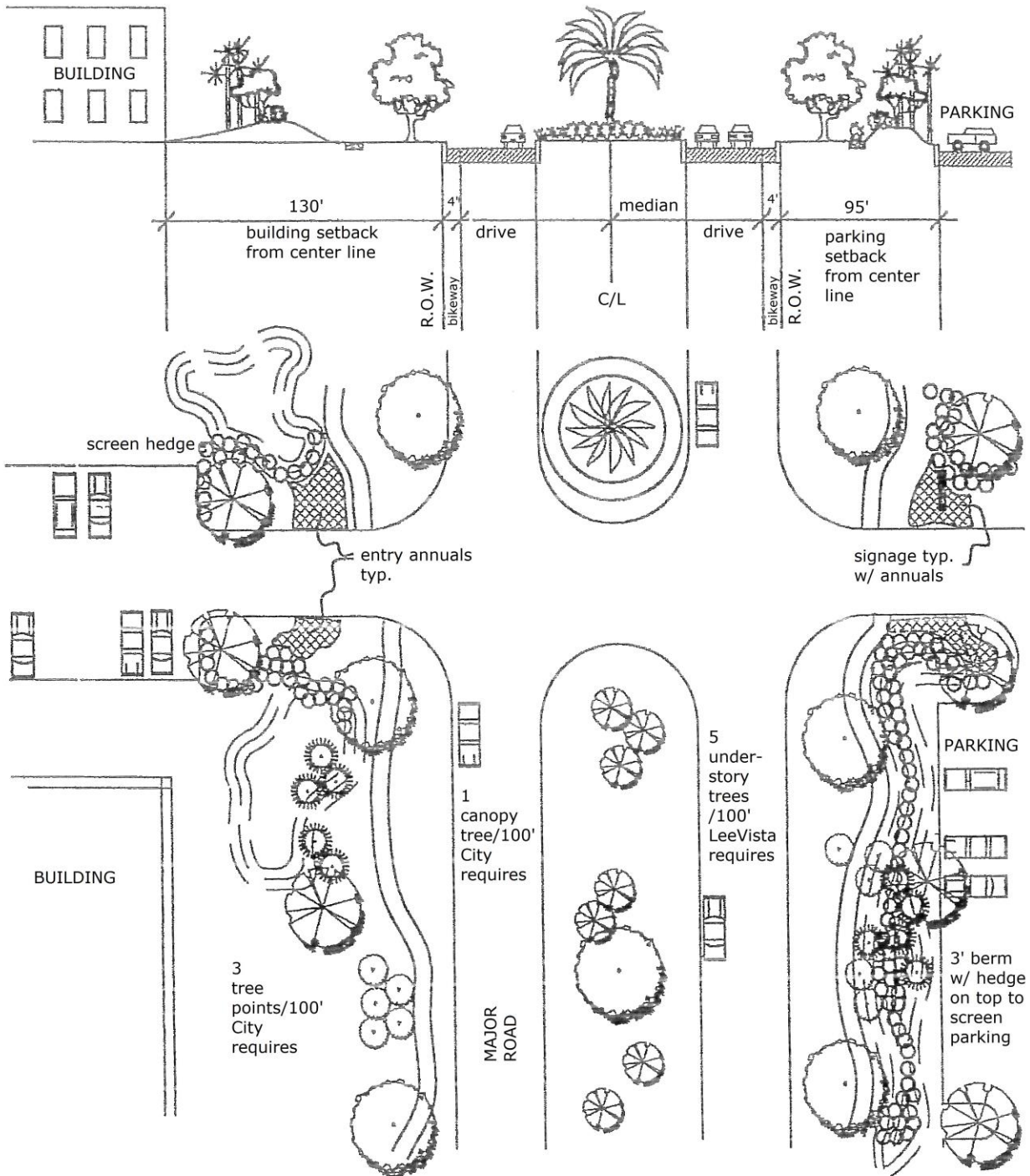


FIGURE #3

SECONDARY ROAD TYPICAL LANDSCAPE

Roadway and median widths may vary
Scale approx. 1" = 40'

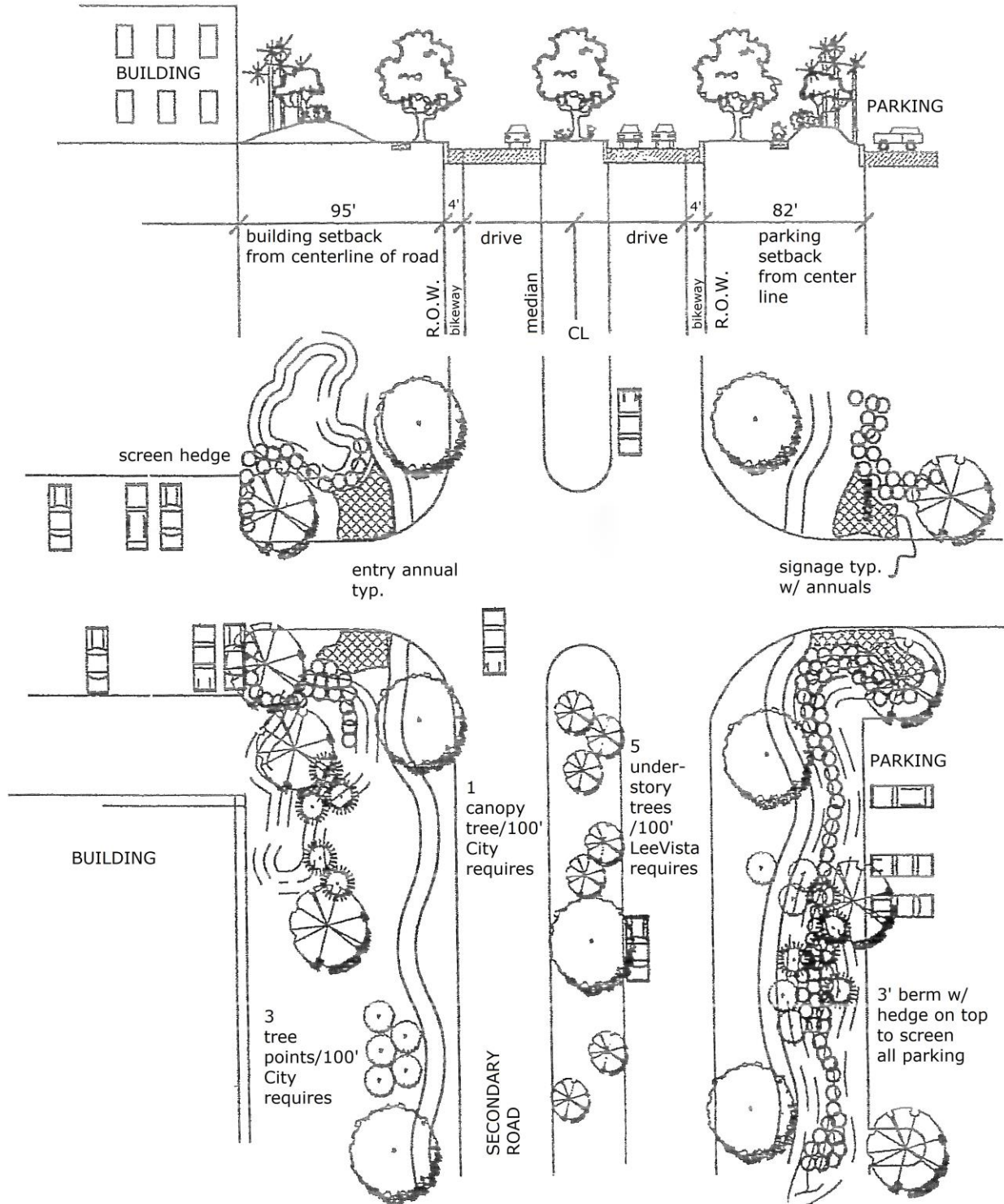
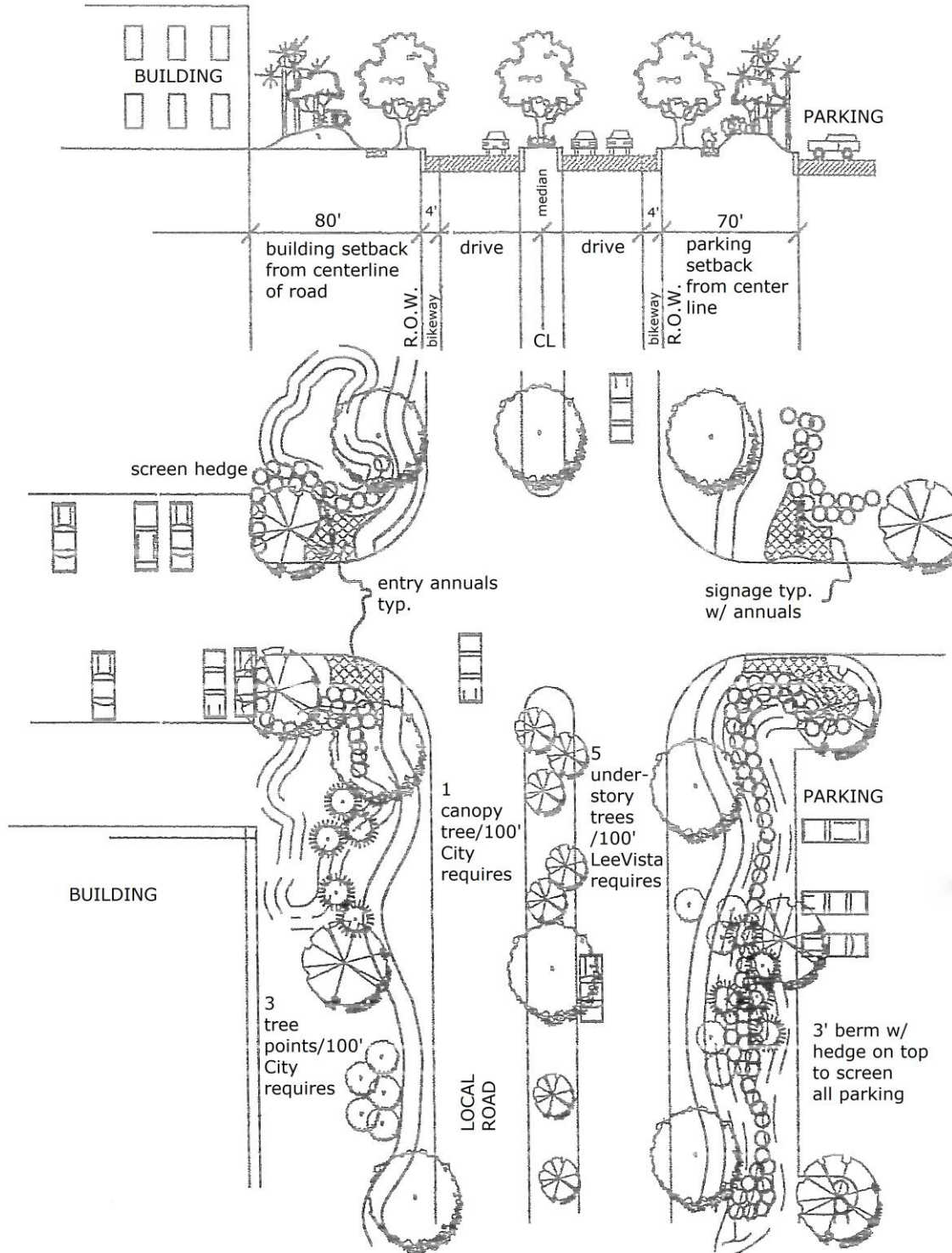


FIGURE #4

LOCAL ROAD TYPICAL LANDSCAPE

Roadway and median widths may vary
Scale approx. 1" = 40'



ARTICLE V SIGN STANDARDS

A. GENERAL

Signage shall mean any surface, fabric, device, or display which bears lettered, pictorial, or sculptural matter, including forms shaped to resemble any human, animal or product, designed to visually convey information and which is exposed to public view. All signs and sign elements, including shape, form, materials, size, color and location, shall be subject to written approval of LeeVista, Inc. LeeVista, Inc. may assess the cost and expense of the removal of signs which are in violation of these standards, as a lien (as provided by Florida Statutes) upon the property, on which the signs were located. No sign shall be erected or maintained unless in conformance with City of Orlando regulations and the following:

1. Signs shall only advertise products produced and/or sold on the premises, the person, firm, company, corporation or major enterprise occupying the premises or operating the use thereon.
2. A total sign area of two (2) square feet for each linear foot of primary building frontage shall be allowed. If a building has multiple roadway frontages, an additional signage area of one (1) square foot for each additional linear foot of building frontage shall be allowed.
3. All signs and sign elements, including shape, form, materials, size, color and location, shall be subject to written approval of LeeVista, Inc.

B. PERMANENT IDENTIFICATION SIGN TYPES AND STANDARDS

1. Awning Signs: An awning is defined as a sheltering screen, usually of canvas material, and which provides protection against the weather. Awning signs shall contain only the name of the occupant of the premises or the product or service available thereon. Such information shall be either imprinted or painted on the awning. The manufacturer's recommended manner of maintenance must be adhered to.
2. Directional Signs: These signs shall be limited to providing on-site information relating to pedestrian and vehicular traffic such as: location of entrances, exits, parking, van or carpooling, handicapped parking, delivery and service areas.
3. Flags: Only corporate and/or governmental flags may be permitted and shall conform to the following:
 - a. Only two (2) flagpoles may be placed on a building site containing two (2) acres or less. One (1) additional flagpole will be permitted for building sites exceeding two (2) acres. Flagpoles may not be separated by more than twenty (20) feet and all flagpoles and their locations shall be submitted to the LeeVista Center Design Review Board for approval.

- b. Flagpoles may range in height above grade between twenty (20) and thirty-five (35) feet.
 - c. Only one flag shall be permitted on each flagpole. The maximum vertical dimension (height) of any flag shall not exceed twenty (20) percent of the flagpole height, nor shall the maximum horizontal dimension (length) exceed the flag height by two and one-half (2-1/2) times.
 - d. All flags and flagpoles, and their method of display, shall conform to all applicable governmental regulations and shall be maintained in good condition.
- 4. Monument (Ground) Signs:
 - a. Only one monument ground sign shall be allowed for each street on which a lot or building site has 40' minimum frontage. Monument ground signs shall be limited to the LeeVista Center standard design and dimensions. (See page 33 for standard roadway signage and page 34 for Semoran Blvd. S.R. 436 roadway frontage signage).
 - b. All monument ground signs shall be located at least ten (10) feet from access drives and side property lines and at least twenty (20) feet from the front property line. There must be at least forty (40) feet between adjacent property monument ground signs.
- 5. Marquee Signs:
 - a. A marquee is defined as a permanent roof-like structure projecting beyond and extending along a building's wall and generally designed and constructed to provide protection against the weather.
 - b. One double-faced marquee sign up to three square feet in area, limited to the name and/or logo-gram of the occupant, may be attached to the bottom of a marquee perpendicular to and at a business entrance. This is not in addition to the square footage allowed per street frontage, but subtracted from that number.
- 6. Wall Signs: Only wall signs may be attached to buildings. A wall sign shall mean any sign attached to, erected parallel to the face of, confined within the limits of, and supported by an outside wall of a building. Wall signs shall display only one advertising surface and shall not project more than twelve (12) inches from any wall. The copy area of wall signs composed of individual letters or irregular shapes shall be calculated on the internal area of the figure resulting from straight lines drawn closest to the extremities of the letters or shapes.
- 7. Wall signs for office buildings more than 2-stories in height will only be approved if the sign identifies a tenant or owner that leases and/or occupies a minimum of sixty percent (60%) of the space available in

that building.

C. TEMPORARY SIGN TYPES AND STANDARDS

1. Construction Signs: One construction sign, denoting the owner, architect, landscape architect, civil engineer, financial institution, contractors, or containing any statement pertaining to a project for which a building permit has been obtained, shall be permitted. Such sign shall not exceed sixty-four (64) square feet in area, shall be located at least ten (10) feet from all property lines, and shall be removed within fifteen (15) days after construction operations have ceased.
2. Real Estate:
 - a. An on-site permanent sign which advertises space for lease within a building located on the premises.
 - b. Each building site shall be limited to one (1) double-faced sign installed perpendicular to the street maintaining the distances established for ground signs (see 4.b. above) for each street frontage.
 - c. Sign messages shall be limited to agent's name, address and telephone number, and identification of space available.
 - d. Real estate signs shall be limited to the LeeVista Center design. (See pages 35-36) for dimensions and specifications.

D. MAINTENANCE

All signs shall be maintained in a safe condition and in a manner resulting in a clean and pleasant appearance, free of deterioration. Signs which have sustained damage, or which have begun to deteriorate in appearance, shall be repaired or replaced immediately. All signs shall be painted at least once per year, unless constructed of noncorrosive materials.

E. PROHIBITED SIGNS

The following signs and/or devices are prohibited and shall not, under any circumstances, be allowed on properties within LeeVista Center.

1. Billboards, with the exception of those previously permitted or in place.
2. Any sign which is designed, devised or constructed so as to rotate, spin, gyrate, turn or move in any animated fashion.
3. Any sign which utilizes intermittent or flashing illuminating devices and which results in changing light intensity, brightness or color or which is constructed and operated so as to create an appearance or illusion of motion.
4. Any sign painted directly on the surface of any wall.
5. Projecting signs.
6. Roof signs.

7. Trailer signs.
8. Political campaign signs.
9. Any vehicle with a sign or signs attached thereto or placed thereon with the following exceptions:
 - a. Any vehicle when parked or stored within the confines of a building.
 - b. Any vehicle upon which is placed a sign identifying a firm or its principal product if such vehicle is one that is operated during the normal course of business.
10. Any sign located on poles, with the exception of internal directional signs not exceeding three (3) square feet in area.
11. Spinners, banners, pennants, streamers, balloons or wind-operated devices.
12. Window signs.
13. Tents - unless used temporarily for a special event.

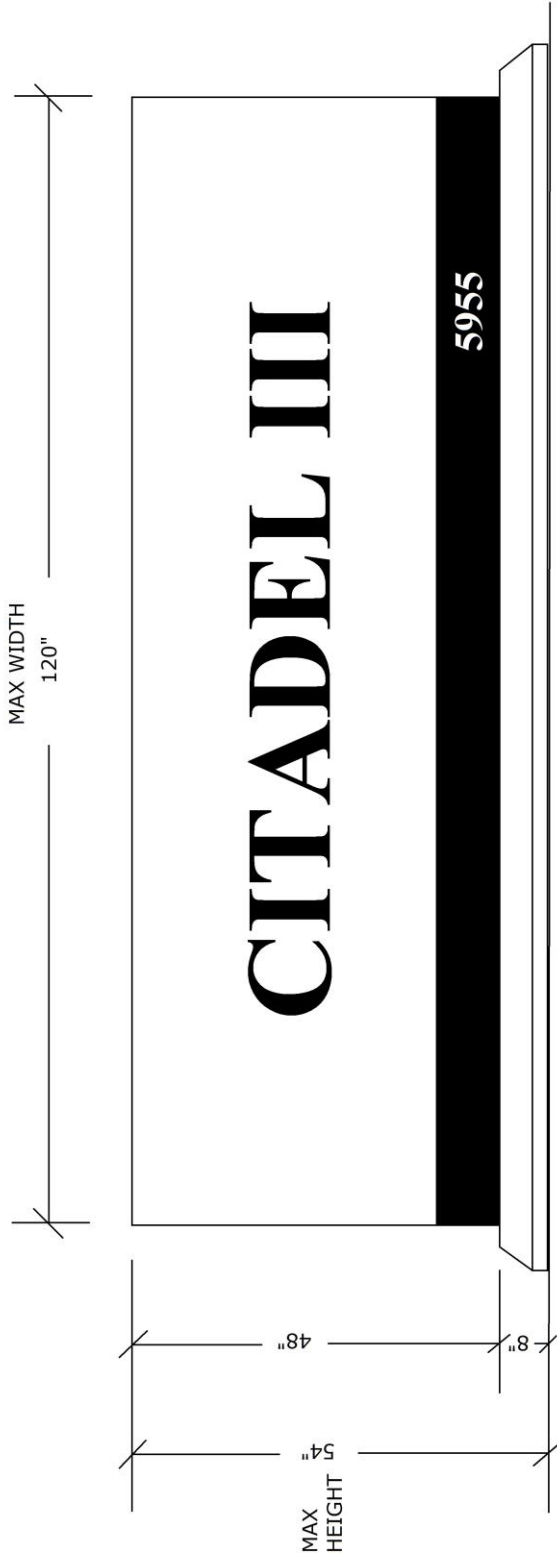


FIGURE # 5
**STANDARD LEEVISTA
 MONUMENT (GROUND) SIGN**

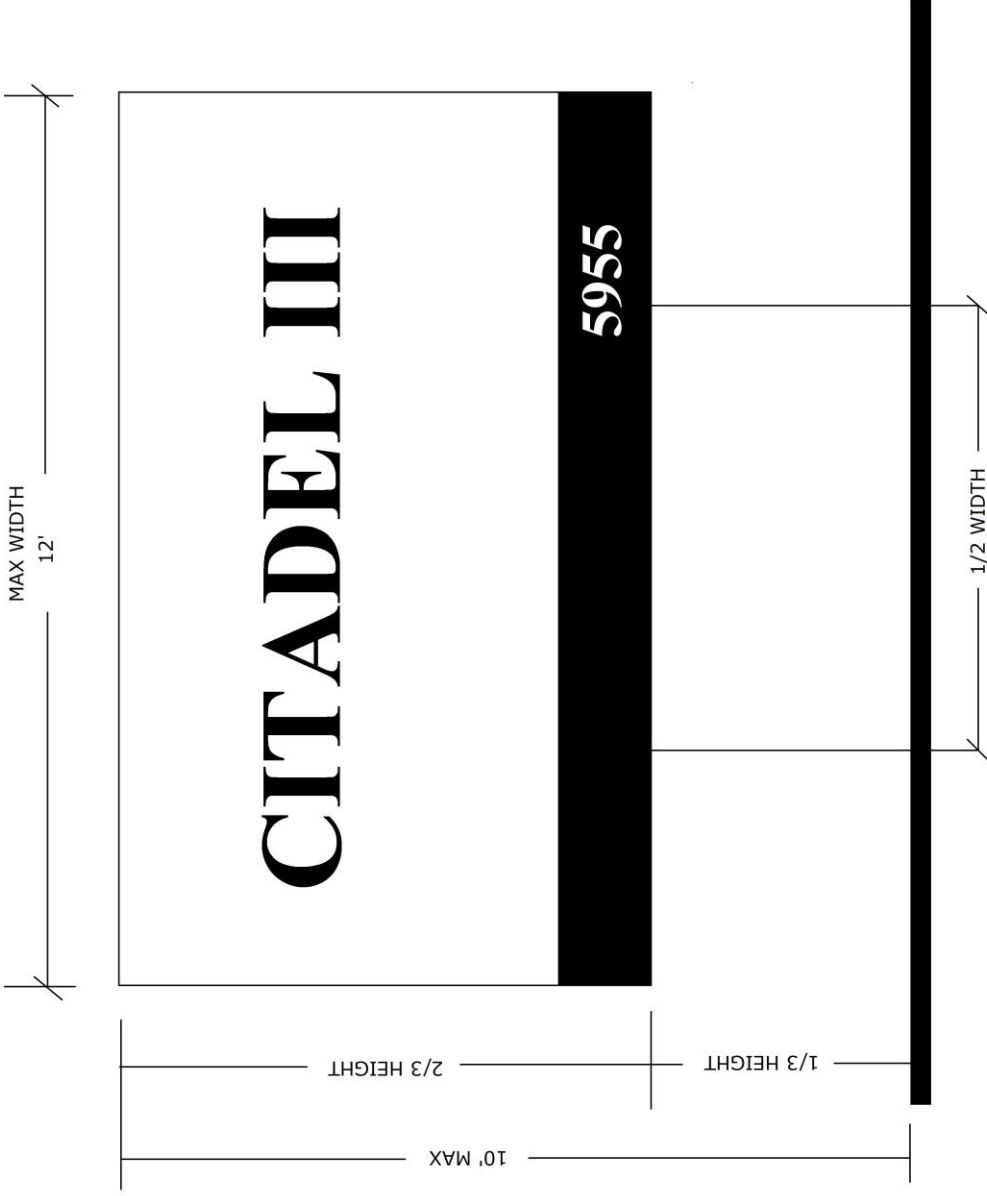


FIGURE #6
**436 ONLY LEEVISTA
MONUMENT (GROUND) SIGN**

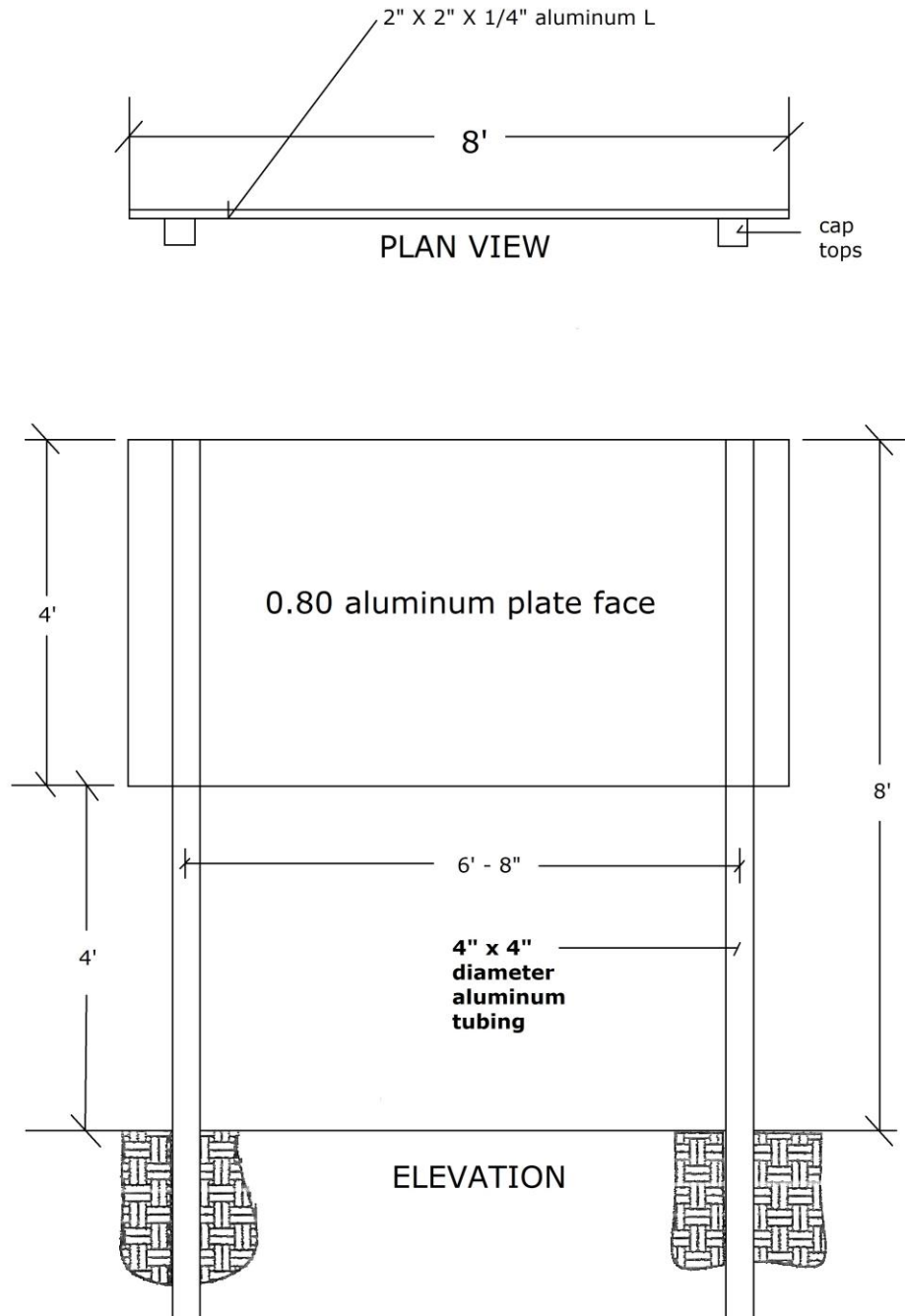
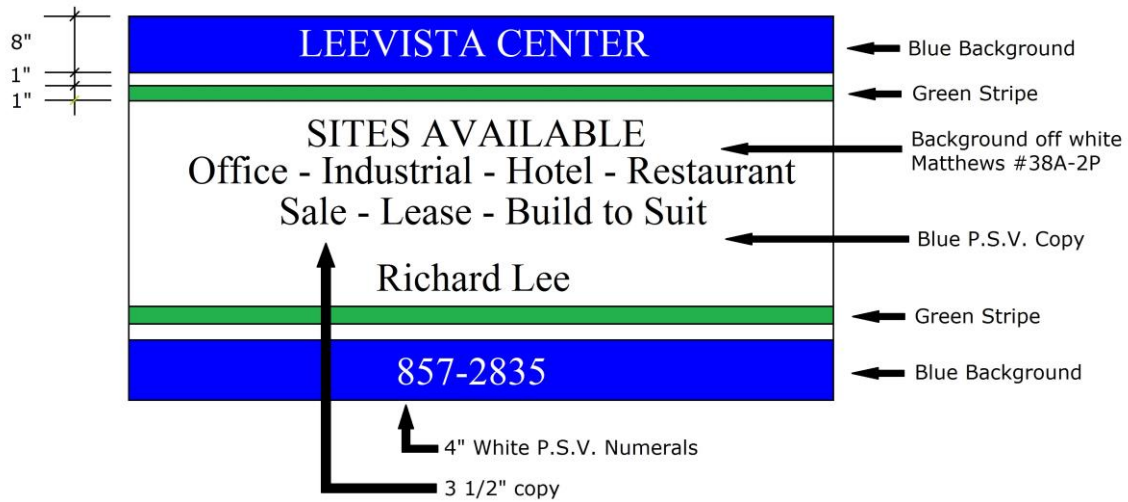


FIGURE #7

LEEVISTA TEMPORARY REAL ESTATE SIGN DIMENSIONS

4" White P.S.V. Copy



The following colors shall apply:

- Blue to match 3M 7725-17 vivid Blue (top and bottom fields)
- Green to match 3M 7725-56 Dark Green (inset stripes)
- Off-white to match Matthews #38A-2P (field, posts and back)

FIGURE #8

LEEVISTA TEMPORARY REAL ESTATE SIGN GRAPHICS

ARTICLE VI
DESIGN REVIEW BOARD

A. ESTABLISHMENT OF THE LEEVISTA CENTER DESIGN REVIEW BOARD

There shall be a LeeVista Center Design Review Board, hereinafter referred to as the "Board," to implement the LeeVista Design Standards. Members of the Board shall be appointed by, and serve at the pleasure of, LeeVista, Inc. or its assigns. Members of the Board shall generally serve for a period of twelve (12) months without pay or other compensation, and may be reappointed for subsequent twelve (12) month terms.

B. BOARD COMPOSITION

The Board shall consist of the following members:

1. One Architect/Landscape Architect registered in the State of Florida.
2. One Civil Engineer registered in the State of Florida.
3. Two representatives of LeeVista, Inc.

Two additional representatives of developers or owners of properties within LeeVista Center may be appointed to the Board at the discretion of LeeVista, Inc.

C. GENERAL FUNCTION, POWERS AND DUTIES

The Board shall review plans and specifications for all improvements within LeeVista Center. No improvement of any nature shall be erected, constructed, placed, altered (by addition or deletion), maintained or permitted to remain on any property within LeeVista Center until the Board has issued written approval for such improvement.

The Board shall review all subdivision plats and lot replats; in addition, neither platted lots nor building sites may be sold, otherwise disposed of, or encumbered in lesser constituent parcels without obtaining written consent of the Board.

The Board may, at its discretion, retain the services of professional technical advisors in the fields of architecture, landscape architecture, civil engineering, planning, and/or other professions to assist in evaluating submissions to the Board.

The Board may recommend, from time to time, to the Board of Directors of the Owners Association, modifications and/or amendments to the Design Standards. Proposed modifications or amendments shall not become effective until adopted by a majority of the Board of Directors of the Owners Association. Notice of any modification or amendment to the Design Standards, including a verbatim copy of such modification or amendment, shall be delivered to each member of the Owners Association provided, however, that delivery of said notice and copy shall not constitute a condition precedent to the effectiveness

or validity of such modification or amendment.

The Board shall enforce the terms and provisions of the Design Standards to the end that if any improvement is altered, modified, or changed without prior written approval of the Board, then the Owner shall, upon demand, cause the improvements to be restored to comply with the plans and specifications originally approved by the Board and the Owner shall bear all costs and expenses of such restoration, including costs and reasonable attorneys' fees of the Board.

LeeVista, Inc. reserves the right to charge a reasonable fee for time spent by the members of the LeeVista Center Design Review Board in reviewing plans for new property owners.

D. PLAN REVIEW

Separate and progressive submittals, regarding improvements, shall be made by the Owner, his representatives or authorized agent, for approval by the Board as follows:

1. A comprehensive Master Site Plan shall be required when site development occurs in stages.
2. Preliminary plans and specifications shall be submitted for each stage of, or for total site development.
3. Working drawings and final plans and specifications shall be submitted for each stage of, or for total site development.

Each submittal, in order to receive proper and timely consideration, shall contain as a minimum, the information listed by types of submittal in the plan submittal guidelines promulgated by LeeVista, Inc. from time to time.

All plans and specifications to be submitted to the Board shall be prepared by an Architect, Landscape Architect, Planner and/or Engineer, and **three sets shall be submitted** over the signature of the Owner, his representative or authorized agent.

E. BASIS OF APPROVAL

The Board, in its sole discretion, may disapprove any submittals which are not in harmony or conformity with other existing or proposed improvements on or in the vicinity of the site or with LeeVista Center's master utility, circulation or general aesthetic or architectural plans and criteria for the site, the property and general area in which the site is located, including but not limited to such matters as adequacy of site and improvement dimensions or external structural appearance, relation of topography, grade and elevation of the site being improved with neighborhood sites and nearby streets and the effect of location and use of improvements on neighboring sites, improvements or operations.

F. VARIANCES

The Board specifically reserves the right, but not the obligation, to approve variances from these standards where strict compliance therewith creates practical difficulties or unnecessary hardships. Consideration of any variance shall be at the sole discretion of the Board and approval of any variance shall not impose upon the Board either the responsibility or the obligation to approve other requests for variances within LeeVista Center.

G. APPEAL

Any decision of the Board may be appealed to the Board of Directors of the Owners Association. The appeal shall be effected by delivering to the Board of Directors of the Owners Association, within ten (10) calendar days of the decision being appealed, a written Notice of Appeal and the nature thereof. The Board of Directors of the Owners Association shall schedule a meeting to hear the appeal within fifteen (15) days following its receipt of such Notice of Appeal and a majority vote of those members of the Board of Directors of the Owners Association present and voting shall make the decision. The determination of the Board of Directors of the Owners Association, upon reviewing any such decision, shall in all events be final.

H. DESIGN REVIEW PROCEDURES

Each development proposal will be reviewed by the Board, as the design for the building and site evolve. A series of submissions shall be made to the Board, following the normal process as outlined below:

1. Pre-Design Conference: Before the design is initiated, a representative of LeeVista, Inc. will meet with the applicant, the applicant's architect, and other consultants to clarify mutual design objectives, the characteristics of the particular parcel, and technical issues related to design review procedures. At this meeting, the applicant shall make available a topographical survey of the parcel at a scale not greater than 1"= 100' to include the following information:
 - a. A description of the proposed use or uses of the lot, including all business and other activities and operations to be conducted thereon in sufficient detail as to permit judgment as to whether or not the proposed use is permitted under the terms of these standards.
 - b. Property boundaries with dimensions and setbacks (required yards), relationship to adjacent lands and access roads, location of curb cuts on adjacent properties and median breaks.
 - c. Topography - shown at one foot contour intervals.
 - d. Locations of any existing utilities or other improvements on the site, or adjacent thereto.
 - e. Description of general site drainage characteristics.

- f. Location and description of any characteristics and noteworthy natural features such as marshes, stream beds, etc.
 - g. Description of existing site vegetation characteristics, to include the location of trees and shrubs (specifying them by name, size, condition, individual, or cluster), which, because of intrinsic landscape value or relationship to their surroundings, are outstanding in terms of potential landscape development. This includes identification of every tree with a minimum diameter of six inches at a height of three (3) feet above grade as well as every cluster of trees of any size. A reasonable adjustment of the requirements will be made when it becomes difficult to specify the information required because of, for example, dense vegetation or other impediments.
2. Schematic Design: Includes plans, sections, elevations and other exhibits sufficient to clearly indicate the placement, height and massing of the building(s), the vertical and horizontal layout of on-site access drives, off-street parking, loading and service areas, location of building entries, the intended treatment and preservation of natural landscape features, and the application of new landscape elements.
- Comments and recommendations shall be made by the Board within fifteen (15) days of receiving the submission. The Board will reserve the right to request a meeting with the applicant and the applicant's consultant(s) to discuss the design at this stage.
3. Preliminary Plan Approval: The applicant shall submit **three sets** of preliminary architectural and site plans, as follows:
- a. Dimensioned building plans, sections, and elevations at a scale of $1/8" = 1'$, with representatives of exterior materials, textures, colors, fenestration, and other detailing necessary for accurately depicting the finished building and its site.
 - b. Outline specifications to indicate the intent for major architectural, structural, mechanical, electrical and site elements.
 - c. Site plan(s) at a scale not greater than $1" = 100'$, showing
 1. Building footprints and the location of sidewalks, driveways, streets and curb cuts, off-street parking areas and loading and service areas.
 - Curvilinear 5' sidewalks along all ROW
 - All proposed walkways
 2. Grading and paving plans, water retention and drainage plans.
 - Decorative pavement areas, with details
 - Retention ponds with drainage structures detailed, no flumes
 - Final grading plans

3. A site plan showing the location of all utility lines, facilities and easements.
 - Back flow preventers height above grade and locations
 - OUC transformer location
 - Fire Department hydrant and pressure booster locations
 - Irrigation well size and location
 - AC compressor height and locations
 - Swimming pool pump locations with screening
 - Telephone transformer locations
 - Pool and spa shape locations
 - Pool pavement shape and locations
 - Tennis or sports court locations
 - Pavement cross-section
 - Satellite dishes
4. Landscape and irrigation plan, including size, placement and species of proposed new plant materials and their integration with existing plantings.
 - Existing tree locations, size and type
5. Indication of all site lighting with heights, spacing, design and illumination characteristics.
 - Lighting for building, parking lot, signage and landscape
- d. A cross section of the site at 1" = 20' or 1" = 16" or other convenient scale approved by LeeVista, Inc. in longitudinal and transverse directions, indicating the relationship of the building and major grading to the street, adjacent properties, and tree edges. The analysis of visual screening, erosion control, drainage, tree protection, and landscape architectural design.
- e. Plans for all proposed signs, both permanent and temporary, to be erected on the lot, including the proposed location, design, size, color and lighting thereof or therefor.
- f. Detailing of proposed methods for protecting any existing trees affected by grading, paving or other construction.
- g. An estimate of the maximum number of employees contemplated to be employed on the site, and the projected timing of shifts during which they would ordinarily be expected to work on the lot. Use of flex-time is encouraged.
- h. Provide a description of proposed activities and operations to be conducted on the lot in sufficient detail to permit judgment as to the nature and extent of any contemplated noise, odor, glare, vibration, smoke, dust, gas, radiation or liquid waste which may emanate or be released from the lot or any improvements located thereon. Standard Industrial Classification (SIC) Code Numbers

shall be provided.

- i. Engineering and architectural plans for the elimination or minimization of any conditions specified in Item "h" above.
- j. Samples of all materials proposed for use on exterior surfaces of all buildings and improvements, including colors and textures.
- k. An accurate artist's rendering or a scale model of the proposed buildings and improvements depicting the location of landscaping, screening, signs and other improvements.
 - Parking lot screening with berms and landscape

Approval, rejection, or recommendation for changes shall be made by the Board within fifteen (15) days after receiving the proposal. The Board will reserve the right to request a meeting with the applicant's consultant(s) to discuss the design at this stage.

- 4. Final Plan Approval: Prior to any site-clearing, development or construction, the applicant shall submit **three sets** of Final Construction drawings to the LeeVista Center Design Review Board for review. This review is to check the final construction plans for conformity to the approved preliminary plans, and shall be completed within fifteen (15) days. The Board will reserve the right to request a meeting with the applicant to discuss any modifications necessary to make the design conform to the approved preliminary plan.

The Board shall submit a recommendation to LeeVista, Inc. for appropriate action. Upon approval, one complete set of drawings and specifications shall become a part of the agreement between the applicant and LeeVista, Inc.

I. PRIOR NOTICE OF CONSTRUCTION

The Owner, his representatives or authorized agent, shall give LeeVista, Inc. at least seventy-two (72) hours written notice prior to commencement of any work or improvements.

J. IDENTICAL REPLACEMENTS

Any improvement on the site for which submittals were previously approved by LeeVista, Inc. may be repaired, replaced or reconstructed, but only if such repair, replacement or reconstruction is identical to the improvement previously approved.

K. FINAL "AS-BUILT" PLANS

Upon completion of construction, the applicant shall submit one set of final "as-built" drawings. Drawings shall be at a scale of 1"=50' and shall show the following:

- 1. Final grading to be shown at a contour interval of one foot, including location of all berms and swales.

2. Layout and geometry of all roads, walks, paved areas, including parking spaces, access aisles, driveways, wheel stops, curbs, and other elements which constitute modification of the natural site.
3. Layout of landscaped areas.
4. Location of trees having a 3-4 inch caliper or larger.
5. Horizontal and vertical location of all storm drainage structures, pipe, swales and retention ponds.
6. Horizontal and vertical location of all sanitary facilities.
7. Location of all water service lines, valves and meters serving the site.
8. Location of all electrical, telephone, gas or other conduits serving the site.
9. Location of all buildings and service structures constructed on the site, including the first floor elevation.
10. Horizontal and vertical circulation with fire exits indicated.

The drawings provided shall include the name, address and telephone number of the person or firm providing the information and shall be certified as accurate by a registered land surveyor licensed by the State of Florida.

L. **LIMITATION OF LIABILITY**

Neither the Board, nor the Owners Association, LeeVista, Inc., nor any officer, director, employee or member thereof, shall be liable in damages or otherwise, to anyone submitting plans or specifications to them for approval, or to any Owner affected by this Declaration, by reason of mistake of judgment, negligence or nonfeasance arising out of or in connection with the approval, disapproval or failure to approve any such plans and specifications. Every person or entity who submits plans to the Board for approval agrees, by submitting such plans and specifications, and every Owner or tenant of any lot agrees, by acquiring title thereto or an interest therein, that he or it will not bring any action or suit whatsoever against the Board, the Owners Association, LeeVista, Inc. nor any officer, director, employee or member thereof.